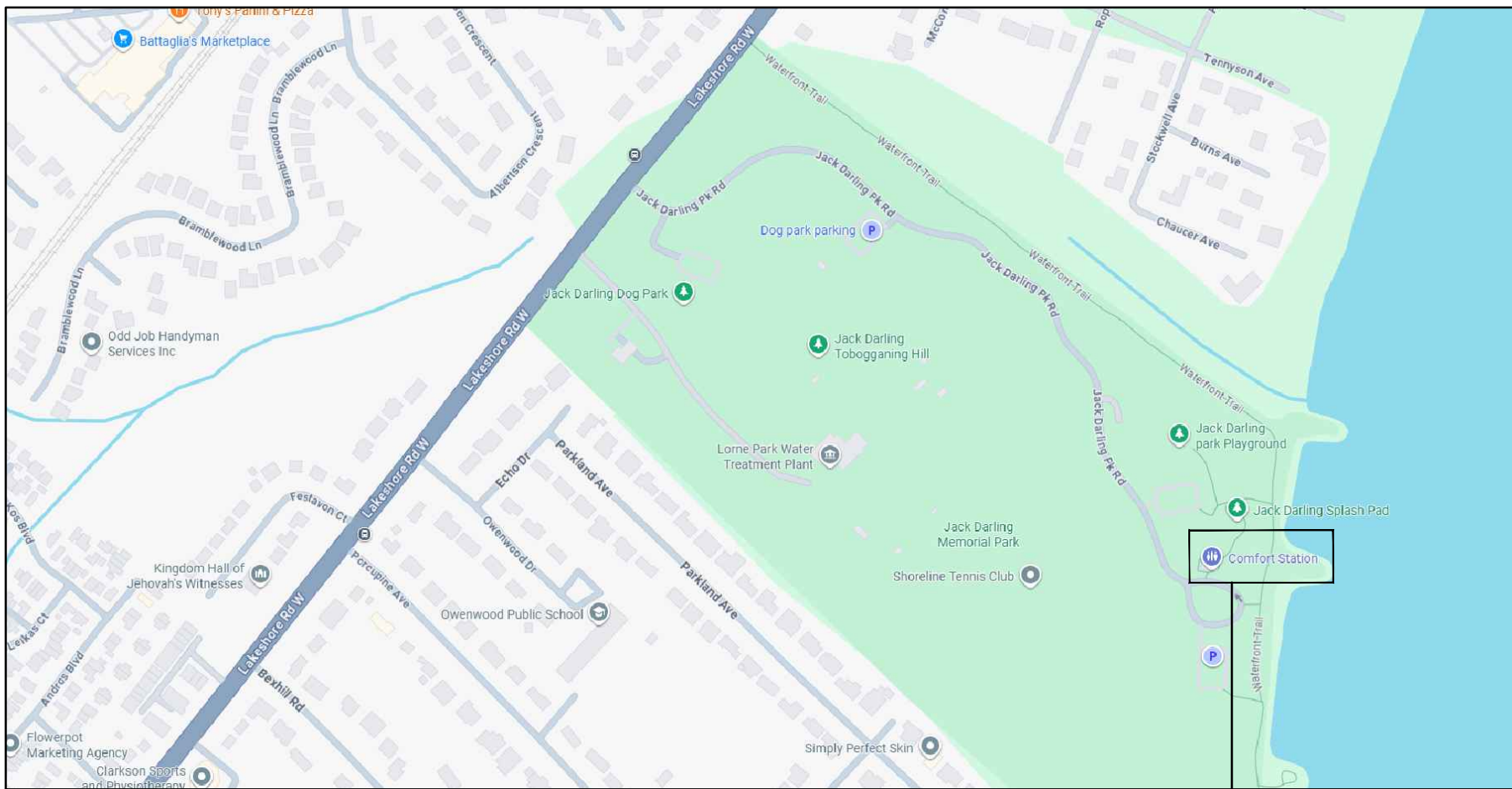


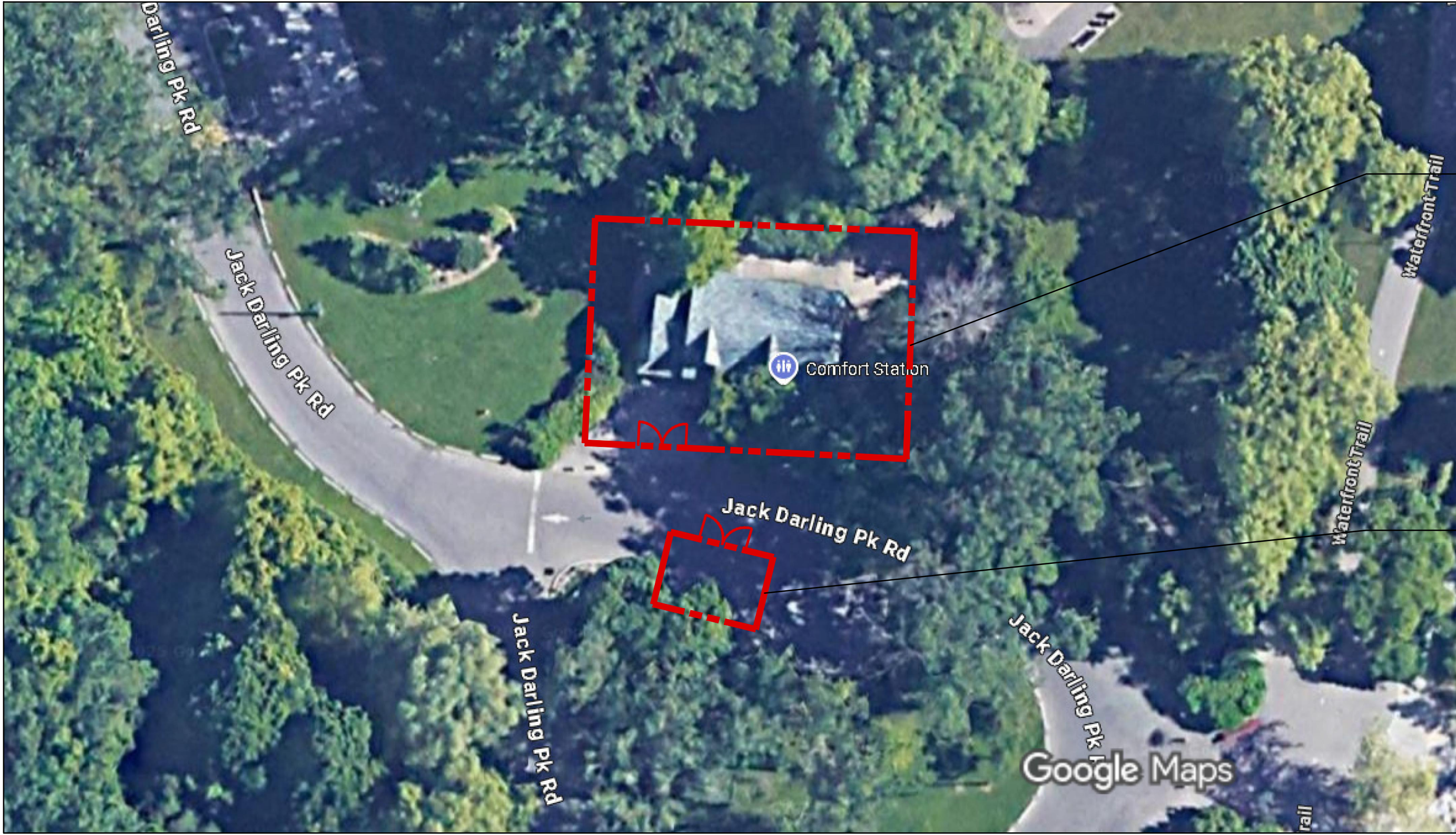
# JACK DARLING MEMORIAL PARK

## East Washroom Renovation

1180 LAKESHORE ROAD W, MISSISSAUGA, ON. L5H 3G7



EAST WASHROOM



CONSTRUCTION HOARDING AND STAGING AREAS

### ARCHITECTURAL

Cellucci+Pace  
ARCHITECTURE | PLANNING | PROJECT MANAGEMENT

510 Rowntree Dairy Rd., Unit 3C  
Woodbridge, ON Canada L4L 8H2  
Tel. 416 855 2260  
www.cplusp.ca

Architectural Drawing List	
Sheet Number	Sheet Name
A001	OBC MATRIX, NOTES, DOOR & FRAME SCHEDULE & LEGENDS
AD101	DEMOLITION - EXISTING FLOOR PLAN & RCP
AD201	DEMOLITION - EXISTING ELEVATIONS
A101	PROPOSED - FLOOR PLAN & RCP
A102	PROPOSED RCP - ALTERNATIVE PRICE NO.1 AND SECTION DETAILS
A201	PROPOSED - EXTERIOR ELEVATIONS
A301	PROPOSED - INTERIOR ELEVATIONS
A302	PROPOSED - INTERIOR ELEVATIONS

### ELECTRICAL

JK  
Foroud Rasti B., B.Eng, P.Eng  
Professional Engineering Design Services  
26 Cobblestone Crk Brampton, Ontario L6R 2S1  
justin@jkengineering.ca jkengineering.ca 416.455.5254

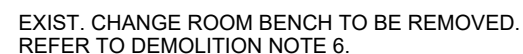
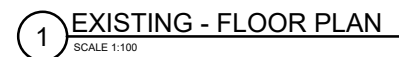
Electrical Drawing List	
Sheet Number	Sheet Name
E100	ELECTRICAL LEGEND
E101	ELECTRICAL NOTES AND SCHEDULES
E102	ELECTRICAL DEMOLITION LAYOUTS
E103	ELECTRICAL NEW LAYOUTS

### MECHANICAL


Smith Engineering Inc.  
T. Smith Engineering  
707 Kipling Ave. Toronto, ON. M8Z 5G4  
Tel: (416) 635 9970  
www.tsmithengineering.com

Mechanical Drawing List	
Sheet Number	Sheet Name
M001	MECHANICAL DETAIL, LEGEND, DRAWING LIST AND SPECIFICATIONS
M100	MECHANICAL




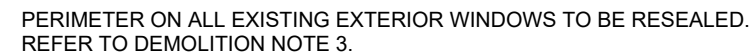
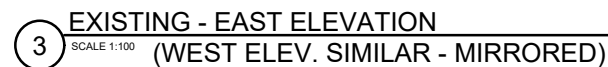
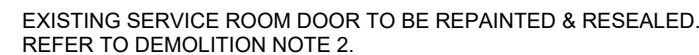
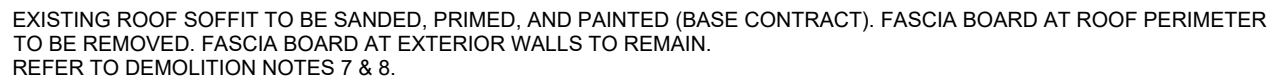
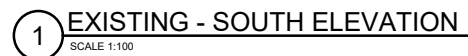


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ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
*Thomas Pace*  
THOM PACE  
LICENCE  
4584

Project Title	
 <b>MISSISSAUGA</b>	
<b>JACK DARLING EAST WASHROOM RENOVATION</b>	
1180 Lakeshore Rd. W. Mississauga, ON. L5H 3G7	
Sheet Title	
<b>DEMOLITION - EXISTING FLOOR PLAN &amp; RCP</b>	
Project Number	25-059
Date	2025-08-12
Drawn	RS/MP
Checked	CC
Scale	As indicated
Drawing Number	<b>AD101</b>



AD201



11.07	Building Size	<input checked="" type="checkbox"/> Small	<input type="checkbox"/> Medium	<input type="checkbox"/> Large	<input type="checkbox"/> > Large	11.2.1.1, and 7.11.2.1.1 B-N
11.08	Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: <u>N/A</u> Hazard Index: <u>N/A</u> Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> Post-disaster <input type="checkbox"/> High				10.1.1.2 11.2.1.1 11.2.1.1.A 11.2.1.1.B to N 4.1.2.1.(3) 2.3.1, and 11.2.2.1
11.09	Renovation Type:	<input checked="" type="checkbox"/> Basic Renovation	<input type="checkbox"/> Extensive Renovation			11.3.3.1, and 11.3.3.2
11.10	Occupant Load	Floor Level/Area	Occupancy Type	Based On	Occupancy Load (Persons)	3.1.17, 2.1.2.2 and 11.4.2.2
		Male WR/Change Room	A2	design of building	5	
		Female WR/Change Room	A2	design of building	5	
					0	4.1.2.1.(3)
					0	2.3.1, and
					0	11.2.2.1
11.11 a	Plumbing Fixtures Requirements	Ratio: <u>MF = 50-50</u> Except as otherwise noted				3.7.4, 11.3.4 11.3.5, 11.4.2.4 and 11.4.2.5
		Floor Level/Area	Occupant Load	OBC Reference	WC's Required	WC's Provided
		Male Washroom	5		1	4
		Female Washroom	5		1	4
			0		0	0
			0		0	0
11.11 b	Plumbing Fixtures Requirements continued:	Floor Level/Area (repeated)	Barrier-free WC's Required	Barrier-free WC's Provided	Universal Washrooms Required	Universal Washrooms Provided
		Male Washroom	1	1	0	0
		Female Washroom	1	1	0	0
			0	0	0	0
			0	0	0	0
	Barrier Free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Explanation: Barrier-free design as feasible within the retrofit conditions			11.3.1.2, 11.3.2
	Barrier Free Entrances:	Number <u>2</u>	Explanation:			

Technical drawings of four rectangular frames, labeled F1, F2, D1, and D2, showing their dimensions.

- F1:** Height is 2100. Top width is divided into three segments: 50, 900, and 50.
- F2:** Height is 2200. Top width is divided into three segments: 50, 1200, and 50.
- D1:** Height is 2050. Top width is 900.
- D2:** Height is 2150. Top width is 1200.

## ABBREVIATIONS

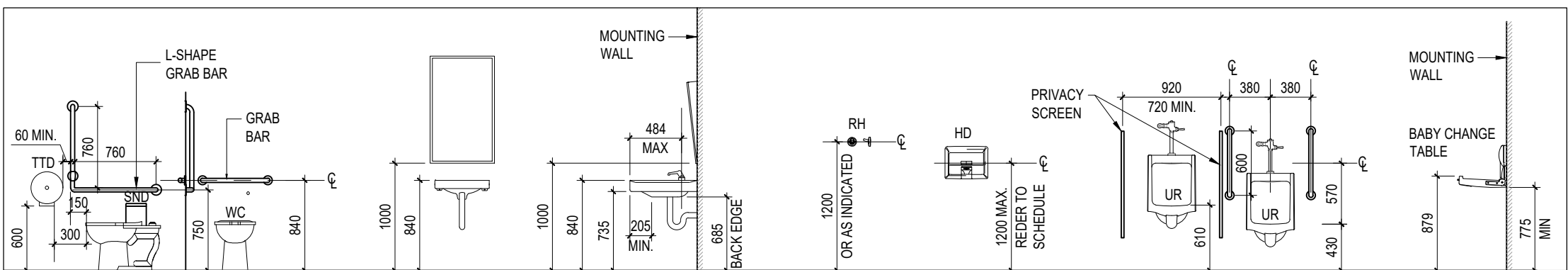
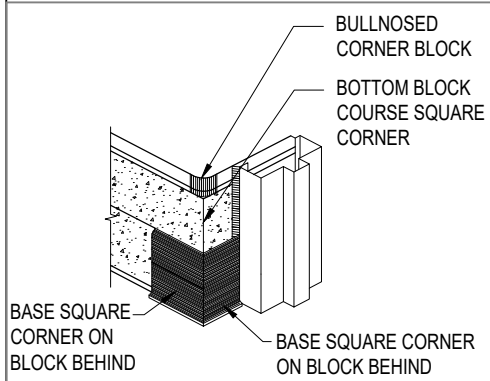
AA	ANODIZED ALUMINUM	GL	GLASS / GLAZING
AAC	ANODIZED ALUMINUM CHANNEL	HD-R	HAND DRYER - RECESSED
ABP	ALUMINUM BENT PLATE	HM	HOLLOW METAL
ALUM	ALUMINUM	HOD	HOLD OPEN DEVICE
ANOD	ANODIZED	HR	HOUR
BFDO	BARRIER-FREE DOOR OPERATOR	HTD	HIGH TRAFFIC DOOR
BH	BULKHEAD	INSUL	INSULATION
CONC	CONCRETE	LF	EXTERIOR LIGHT FIXTURE
CH	COAT HOOK AND RACK	LSD	LIQUID SOAP DISPENSER
CP	CONTROL PANEL	MTL	METAL
DF	DRINKING FOUNTAIN	MP	METAL PANEL
DF-WBF	DRINKING FOUNTAIN-BOTTLE FILLER	MR1	MIRROR
EF	EPOXY FLOORING	PLAM	PLASTIC LAMINATE
EP	ELECTRICAL POWER PANEL	PMC	PREFINISHED METAL CLADDING
EXP	EXPOSED STRUCTURE	PMF	PREFINISHED METAL FLASHING
EXT	EXTERIOR	PT	PAINT
FS	FLOOR SOCKET	RB	ROBE HOOK
GB	GYPSUM BOARD	R-LT	RESILIENT BASE w/ LONG TOE
		RSD	RECESSED SOAP DISH
		RTF	RESILIENT TILE FLOOR
		RW	RACEWAY (ELECTRICAL)
		S	STAIN
		SCF	SEALED CONCRETE FLOOR
		SKEY	SECURITY KEY PAD
		SL	SIDE LITE
		SND	SANITARY NAPKIN DISPENSER
		SNV	SANITARY NAPKIN VENDOR
		TG	TEMPERED GLAZING
		TR	TRANSOM
		TTD	TOILET TISSUE DISPENSER
		UR	URNAL
		UH	UNIT HEATER
		US	UNDERSIDE
		WC	WATER CLOSET (TOILET FIXTURE)
		WD	WOOD
		WF	WASH FOUNTAIN
		WMS	WALL MOUNTED SINK

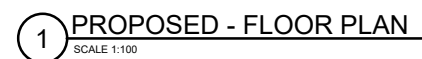
## GENERAL NOTES

1. GENERAL CONTRACTOR WILL BE HELD ACCOUNTABLE FOR ALL DAMAGES TO EXISTING FINISHES, MILLWORK, EQUIPMENT, MATERIALS AND SUPPLIES CAUSED DURING CONSTRUCTION. ALL DAMAGED ITEMS WILL BE REPAIRED/REPLACED TO THE SATISFACTION OF THE ARCHITECT AND AT NO COST TO THE BASE CONTRACT.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND MAINTAINING THE INTEGRITY OF ALL EXISTING FIRE SEPARATIONS AFFECTED BY CONSTRUCTION.
3. GENERAL CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS PRIOR TO CLOSING OF TENDER AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
4. MAKE GOOD ALL EXISTING FINISHES WHERE REQUIRED WORK IS COMPLETED BY ALL TRADES. MATCH EXISTING FINISHES. SEE ALSO MECHANICAL, ELECTRICAL AND STRUCTURAL DRAWINGS FOR LOCATIONS.
5. CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION AND THE DISPOSAL OF ITEMS IDENTIFIED IN THE CONTRACT AREA INCLUDING MECHANICAL, ELECTRICAL AND PLUMBING.
6. THE EXISTING LIFE SAFETY AND FIRE PROTECTION SYSTEM IS TO BE KEPT ACTIVE AT ALL TIMES DURING AND AFTER CONSTRUCTION WORKING HOURS. SHOULD IT BE REQUIRED TO DISARM THE EXISTING SYSTEM, THE CONTRACTOR SHALL GIVE 2 DAYS NOTICE TO THE OWNER AND LOCAL FIRE DEPARTMENT OF SUCH ACTIVITY. ANY FALSE ALARM CALLS, FEES TO OUTSIDE AUTHORITIES WILL BE PAID BY THE GENERAL CONTRACTOR AT HIS OWN EXPENSE
8. PROVIDE BULLNOSE FOR ALL EXPOSED CONCRETE BLOCK CORNERS IN PUBLIC AREA
9. ALL OPENINGS THROUGH FIRE SEPARATION WALLS MUST BE FIRE STOPPED AND SEALED WITH APPROVED ULC RATED ASSEMBLY.
10. LINE OF EXISTING GRADES, AS SHOWN ON THE BUILDING ELEVATIONS AND SECTIONS ARE APPROXIMATE. THEY ARE AT THE BUILDING FACE OR ON THE SECTION END EXCEPT AS NOTED.

## EXTERIOR FINISHES

PMF	<u>PREFINISHED METAL FLASHING</u> COLOUR: DARK BROWN
PMS-1	<u>EXTERIOR METAL SOFFIT &amp; FASCIA</u> PREFINISHED METAL SOFFIT BELLARA BY VIOWEST COLOUR: MOUNTAIN CEDAR FINISH: WOODGRAIN

[illegible]



NEW L-SHAPED GRAB BARS TO BE INSTALLED IN BOTH EXISTING ACCESSIBLE WASHROOM STALLS & NEW GRAB BARS INSTALLED AT EXISTING URINAL. REFER TO DEMOLITION NOTE 9.

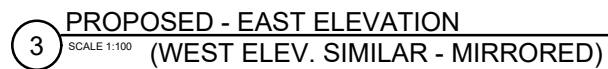
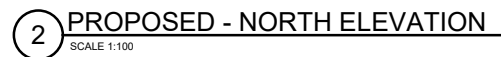
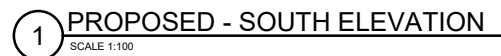





NEW WORK NOTES	
1	INSTALL TWO (2) NEW WASHROOM EXTERIOR DOORS AND HARDWARE ON THE EAST AND WEST ENTRANCES. (REFER TO DFS ON A001)
2	REPAINT THE SERVICE ROOM ENTRANCE DOOR AND RESEAL PERIMETER OF THE FRAME USING SEALANT WITH BACKUP ROD. INSTALL NEW WEATHERSTRIPPING.
3	RESEAL PERIMETER OF EXISTING EXTERIOR WINDOWS USING SEALANT AND BACKUP ROD.
4	INSTALL THREE (3) NEW WALL UNIT HEATERS IN BOTH WASHROOMS & STORAGE SERVICE RM. (REFER TO MECH. & ELEC. DRAWINGS)
5	INSTALL NEW ENERGY EFFICIENT LED LIGHTING THROUGHOUT. (REFER TO ELEC. DRAWINGS)
6	INSTALL NEW CHANGE ROOM CUBICLE UNITS AND BENCHES REUSING SALVAGED PLANKS, ADDING NEW PLANKS AS REQUIRED TO COMPLETE THE NEW BENCH DESIGN (REFER TO 5/A/302). REUSED PLANKS TO BE STRIPPED AND REFINISHED TO MATCH NEW PLANKS. ALIGN NEW BENCH BRACKETS WITH EXISTING WALL NOTCHES.
7	BASE CONTRACT; SAND, PRIME, AND PAINT EXISTING EXTERIOR SOFFIT. (REFER TO 5/A/102) <u>ALTERNATIVE PRICE NO. 1:</u> INSTALL NEW SOFFIT ON FURRING CHANNELS OVER EXISTING SOFFIT. PROVIDE NEW SOFFIT VENTS; COLOUR TO MATCH NEW SOFFIT MATERIAL. (REFER TO 2/A/102)
8	INSTALL NEW FASCIA BOARD CONSTRUCTED OF EXTERIOR GRADE PLYWOOD. EXISTING FASCIA AT EXTERIOR WALLS TO BE SANDED, PRIMED, AND PAINTED. (REFER TO 2 & 3/A/102)
9	REINSTALL EXISTING MIRRORS AND CHANGE TABLE AS PER FLOOR PLAN AND INTERIOR ELEVATIONS. REINSTALL EXISTING WASHROOM ACCESSORIES THAT DID NOT MEET MOUNTING REQUIREMENTS TO COMPLY WITH FADS. ALSO REFER TO A001 FOR MOUNTING HEIGHTS.
10	INSTALL NEW GRAB BARS AT EXISTING URINAL, IN ACCESSIBLE WASHROOM STALLS, AND INSIDE AND OUTSIDE OF NEW CHANGE ROOM CUBICLE UNITS
11	SAND, PRIME, AND PAINT ALL EXISTING INTERIOR CONCRETE BLOCK WALLS.

[illegible]

[illegible]





NEW WORK LEGEND	
	- EXISTING WALL TO REMAIN
	- NEW CONCRETE BLOCK WALL
	- NEW DOOR & FRAME
NEW WORK NOTES	
1	INSTALL TWO (2) NEW WASHROOM EXTERIOR DOORS AND HARDWARE ON THE EAST AND WEST ENTRANCES. (REFER TO DFS ON A001)
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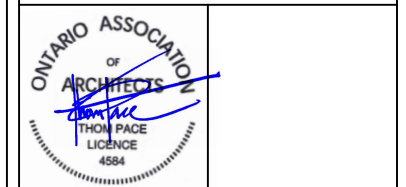
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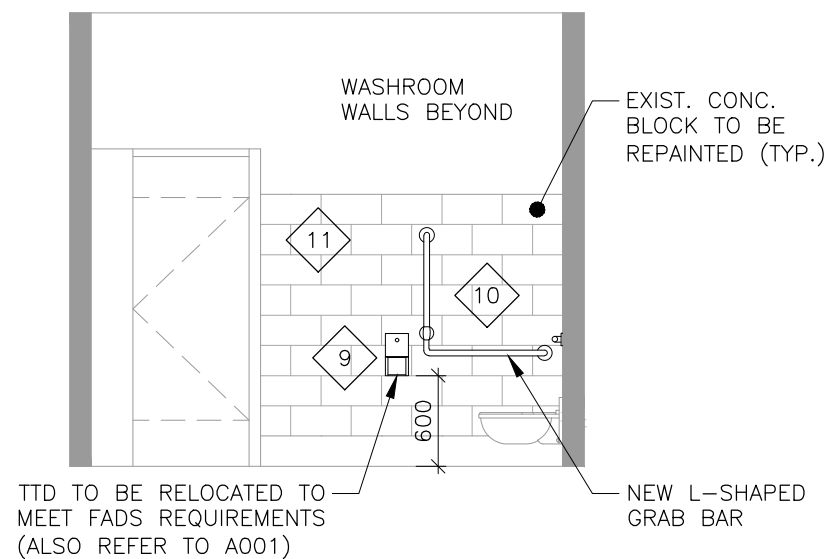
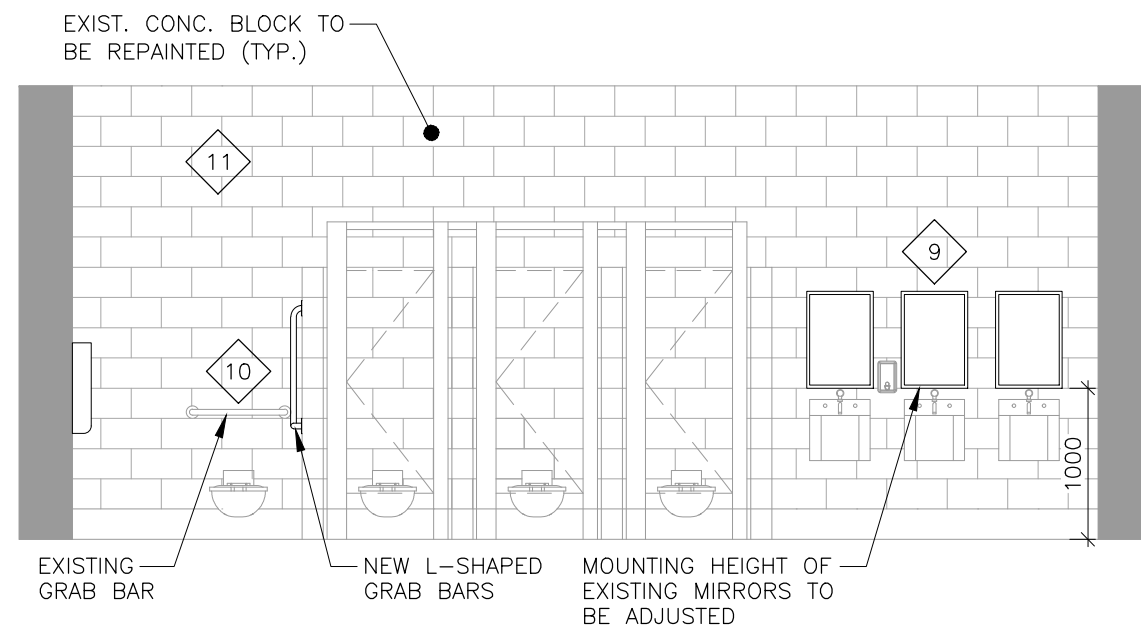
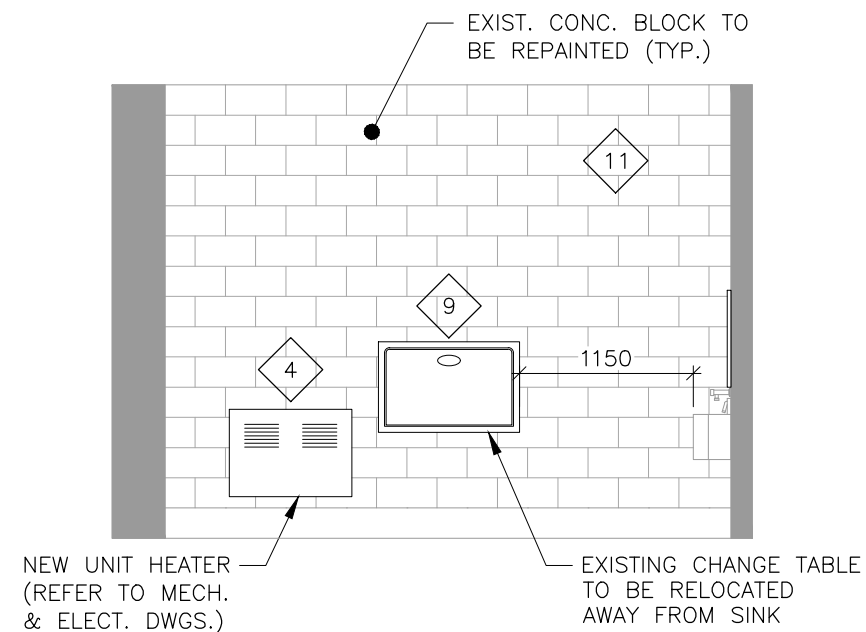
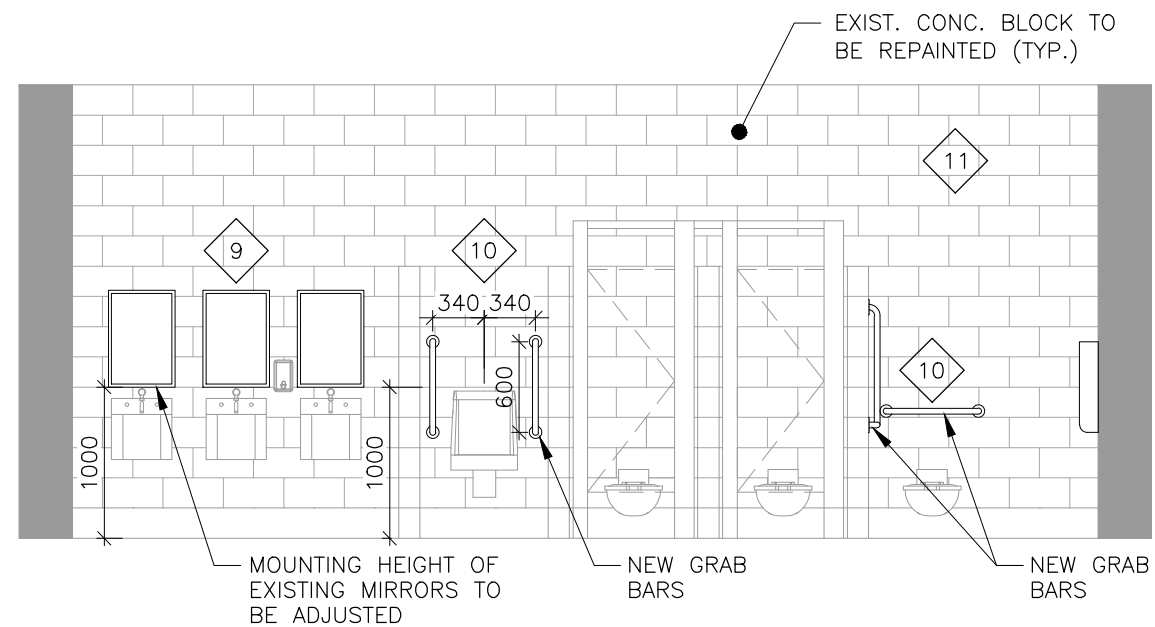
PROJECT NORTH

TRUE NORTH






Project Title	
 <b>MISSISSAUGA</b>	
<b>JACK DARLING EAST WASHROOM RENOVATION</b>	
1180 Lakeshore Rd. W. Mississauga, ON. L5H 3G7	
Sheet Title	
<b>PROPOSED - EXTERIOR ELEVATIONS</b>	
Project Number	25-059
Date	2025-08-12
Drawn	RS/MP
Checked	CC
Scale	1:100
Drawing Number	

A201



NEW WORK LEGEND
-----------------

-  - EXISTING WALL TO REMAIN  
 - NEW CONCRETE BLOCK WALL  
 - NEW DOOR & FRAME

## NEW WORK NOTES

- 1 INSTALL TWO (2) NEW WASHROOM EXTERIOR DOORS AND HARDWARE ON THE EAST AND WEST ENTRANCES. (REFER TO DFS ON A001)
- 2 REPAINT THE SERVICE ROOM ENTRANCE DOOR AND RESEAL PERIMETER OF THE FRAME USING SEALANT WITH BACKUP ROD. INSTALL NEW WEATHERSTRIPPING.
- 3 RESEAL PERIMETER OF EXISTING EXTERIOR WINDOWS USING SEALANT AND BACKUP ROD.
- 4 INSTALL THREE (3) NEW WALL UNIT HEATERS IN BOTH WASHROOMS & STORAGE SERVICE RM. (REFER TO MECH. & ELECT. DRAWINGS)
- 5 INSTALL NEW ENERGY EFFICIENT LED LIGHTING THROUGHOUT. (REFER TO ELECT. DRAWINGS)
- 6 INSTALL NEW CHANGE ROOM CUBICLE UNITS AND BENCHES REUSING SALVAGED PLANKS, ADDING NEW PLANKS AS REQUIRED TO COMPLETE THE NEW BENCH DESIGN (REFER TO 5/A302). REUSED PLANKS TO BE STRIPPED AND REFINISHED TO MATCH NEW PLANKS. ALIGN NEW BENCH BRACKETS WITH EXISTING WALL NOTCHES.
- 7 BASE CONTRACT: SAND, PRIME, AND PAINT EXISTING EXTERIOR SOFFIT. (REFER TO 3/A102)  
ALTERNATIVE PRICE NO.1: INSTALL NEW SOFFIT ON FURRING CHANNELS OVER EXISTING SOFFIT.  
PROVIDE NEW SOFFIT VENTS; COLOUR TO MATCH NEW SOFFIT MATERIAL. (REFER TO 2/A102)
- 8 INSTALL NEW FASCIA BOARD CONSTRUCTED OF EXTERIOR GRADE PLYWOOD. EXISTING FASCIA AT EXTERIOR WALLS TO BE SANDED, PRIMED, AND PAINTED. (REFER TO 2 & 3/A102)
- 9 REINSTALL EXISTING MIRRORS AND CHANGE TABLE AS PER FLOOR PLAN AND INTERIOR ELEVATIONS. REINSTALL EXISTING WASHROOM ACCESSORIES THAT DID NOT MEET MOUNTING REQUIREMENTS TO COMPLY WITH FADS. ALSO REFER TO A001 FOR MOUNTING HEIGHTS.
- 10 INSTALL NEW GRAB BARS AT EXISTING URINAL, IN ACCESSIBLE WASHROOM STALLS, AND INSIDE AND OUTSIDE OF NEW CHANGE ROOM CUBICLE UNITS
- 11 SAND, PRIME, AND PAINT ALL EXISTING INTERIOR CONCRETE BLOCK WALLS.

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## REVISIONS/SUBMISSIONS

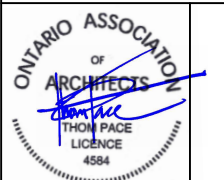
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PROJECT NORTH

TRUE NORTH

**Cellucci+Pace**  
ARCHITECTURE | PLANNING | PROJECT MANAGEMENT

510 Rowntree Dairy Rd., Unit 3C  
Woodbridge, ON Canada L4L 8H2  
Tel. (416) 855-2260  
[www.cplusp.ca](http://www.cplusp.ca)



Project Title	
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# JACK DARLING EAST WASHROOM RENOVATION

1180 Lakeshore Rd. W. Mississauga, ON. L5H 3G7

Sheet Title

PROPOSED -  
INTERIOR ELEVATIONS

Project Number	25-059
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Date	2025-08-12
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Drawn	AU
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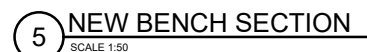
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
Scale	1:50
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Drawing Number
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A301





NEW WORK LEGEND	
	— EXISTING WALL TO REMAIN
	— NEW CONCRETE BLOCK WALL
	— NEW DOOR & FRAME
NEW WORK NOTES	
1	INSTALL TWO (2) NEW WASHROOM EXTERIOR DOORS AND HARDWARE ON THE EAST AND WEST ENTRANCES. (REFER TO DFS ON A001)
2	REPAINT THE SERVICE ROOM ENTRANCE DOOR AND RESEAL PERIMETER OF THE FRAME USING SEALANT WITH BACKUP ROD. INSTALL NEW WEATHERSTRIPPING.
3	RESEAL PERIMETER OF EXISTING EXTERIOR WINDOWS USING SEALANT AND BACKUP ROD.
4	INSTALL THREE (3) NEW WALL UNIT HEATERS IN BOTH WASHROOMS & STORAGE SERVICE RM. (REFER TO MECH. & ELECT. DRAWINGS)
5	INSTALL NEW ENERGY EFFICIENT LED LIGHTING THROUGHOUT. (REFER TO ELECT. DRAWINGS)
6	INSTALL NEW CHANGE ROOM CUBICLE UNITS AND BENCHES REUSING SALVAGED PLANKS, ADDING NEW PLANKS AS REQUIRED TO COMPLETE THE NEW BENCH DESIGN (REFER TO 3/A302). REUSED PLANKS TO BE STRIPPED AND REFINISHED TO MATCH NEW PLANKS. ALIGN NEW BENCH BRACKETS WITH EXISTING WALL NOTCHES.
7	BASE CONTRACT: SAND, PRIME, AND PAINT EXISTING EXTERIOR SOFFIT. (REFER TO 3/A102) ALTERNATIVE PRICE NO.1: INSTALL NEW SOFFIT ON FURRING CHANNELS OVER EXISTING SOFFIT. PROVIDE NEW SOFFIT VENTS, COLOUR TO MATCH NEW SOFFIT MATERIAL. (REFER TO 2/A102)
8	INSTALL NEW FASCIA BOARD CONSTRUCTED OF EXTERIOR GRADE PLYWOOD. EXISTING FASCIA AT EXTERIOR WALLS TO BE SANDED, PRIMED, AND PAINTED. (REFER TO 2 & 3/A102)
9	REINSTALL EXISTING MIRRORS AND CHANGE TABLE AS PER FLOOR PLAN AND INTERIOR ELEVATIONS. REINSTALL EXISTING WASHROOM ACCESSORIES THAT DID NOT MEET MOUNTING REQUIREMENTS TO COMPLY WITH FADS. ALSO REFER TO A001 FOR MOUNTING HEIGHTS.
10	INSTALL NEW GRAB BARS AT EXISTING URINAL, IN ACCESSIBLE WASHROOM STALLS, AND INSIDE AND OUTSIDE OF NEW CHANGE ROOM CUBICLE UNITS
11	SAND, PRIME, AND PAINT ALL EXISTING INTERIOR CONCRETE BLOCK WALLS.

THIS DRAWING, AS AN INSTRUMENT OF SERVICES, IS THE PROPERTY OF THE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT HIS PERMISSION AND UNLESS THE REPRODUCTION CARRIES HIS NAME. ALL DESIGN AND OTHER INFORMATION SHOWN ON THIS DRAWING ARE FOR USE ON THIS SPECIFIC PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ARCHITECT SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

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PROJECT NORTH | TRUE NORTH

**Cellucci+Pace**  
ARCHITECTURE | PLANNING | PROJECT MANAGEMENT

510 Rowntree Dairy Rd., Unit 3C  
Woodbridge, ON Canada L4L 8H2  
Tel. (416) 855-2260  
[www.cplusp.ca](http://www.cplusp.ca)



Project Title	
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JACK DARLING EAST  
WASHROOM RENOVATION

1180 Lakeshore Rd. W. Mississauga, ON. L5H 3G7

Sheet Title

PROPOSED -  
INTERIOR ELEVATIONS

Project Number	25-059
Date	2025-08-12
Drawn	AU
Checked	CC
Scale	As indicated
Drawing Number	

A302



T SMITH ENGINEERING DRAWING SPECIFICATIONS

1. General Requirements

- 1.1. Contract Requirements
- 1.1.1. Perform all mechanical work detailed on these contract documents.
- 1.1.2. Provide a complete and fully functional mechanical and fire protection systems to the satisfaction of the mechanical consultant.
- 1.1.3. Work described in these contract documents do not delegate works to any specific subcontractor or identify contractual limits between mechanical or sub- contractors.
- 1.1.4. Premium time costs shall be included for outside of normal working hours.
- 1.1.5. Any shutdown of mechanical systems affecting the current occupancy shall be conducted afterhours and on weekends, unless provided with written approval. Mechanical contractor shall allow for all overtime and premium time labour required to perform shut-downs in their cost.
- 1.1.6. The most rigorous of this specification and base building standards shall for the basis for this contract. Comply with CITY's requirements for system shutdown and connection. Valves identified on drawings are those that are available for Contractor use. Allow for pipe freezing and similar processes to minimize system shutdown and disruptions.
- 1.1.7. Perform all work in accordance with all applicable municipal, provincial, and national codes and bylaws having jurisdiction, and best industry practices.
- 1.1.8. Permits and fees required by the Authorities Having Jurisdiction shall be obtained and paid for by the Mechanical Contractor, including all applicable taxes. Submit all documents to the Authority in the format required including paper copies and/or electronic documents.
- 1.1.9. Existing site conditions affecting the contract documents shall be reviewed on site prior to tender submission. Failing to review does not relieve the contractor of full contract responsibility. No change will be issued or extra cost will be entertained for site conditions that were reasonably visible during the tender walkthrough.
- 1.1.10. Cutting, patching, and core drilling shall be paid for under this contract by this contractor. X-ray concrete structure in accordance with Owner/CITY Structural Engineer's requirements. Provide details of new openings through structural components for Engineer's approval. Incur all related costs for structural approval.
- 1.1.11. Fire stop all pipe penetrations through rated assemblies. Repair/provide all fire stopping required to maintain original ratings. Fire stopping shall be ULC listed and installed per the manufacturer's requirements.
- 1.1.12. Flashing and counter-flashing for exterior penetrations or waterproofed floors shall be provided under this contract. Flash all mechanical parts passing through, or built into a roof, outside wall, or waterproof floor. Use prefabricated aluminum or PVC flashing for roof and membrane or copper for walls and floors. Ensure all openings are weather, water, and fireproof using approved flexible sealants.
- 1.1.13. Submit shop drawings electronically to all consultants and allow one (1) week engineer's review.
- 1.1.14. Provide shop drawings for all scheduled and specified equipment, including:
- 1.1.14.1. HEATERS
- 1.1.14.2. DAMPERS
- 1.1.14.3. FANS
- 1.1.15. Shop drawings shall be reviewed by the Contractor for accuracy and complete with Contractor's review stamp prior to submission. Any submitted shop drawing that does not bear the Contractor's review stamp will not be reviewed and will be returned back to the Contractor.
- 1.1.16. Equipment substitutions after award of contract will not be considered without written explanation and consultant's written authorization. The quality and performance characteristics of a substituted product shall be equivalent to the specified product. All substitute products shall be approved by consultants. Any additional costs incurred by all trades for the substituted equipment installation must be paid for by the Mechanical Contractor under this contract, and at no additional cost to the consultants or the client.
- 1.2.3.3. This contractor shall provide detailed scaled drawings (1/50 or 1/4"=1'-0") for the alternative equipment/product and associated revisions needed to accommodate said equipment. Submit the same to for engineer's review.
- 1.2.4. Control wiring and devices shall be provided under this contract. Control work shall be completed by the Owner's/CITY approved contractor and paid for under this contract when connecting to base building controls systems.
- 1.2.5. Provide a complete and fully functioning system operating in accordance with the sequence of operations. Install all systems to allow for all future maintenance. Align all access doors, unit access locations, and piping/duct connections to ensure future serviceability of all systems.
- 1.2.6. Load-side wiring and electrical devices shall be provided including wiring, starters, disconnects, VFD's etc. Verify and coordinate voltage and phase with electrical contractor and consultant prior to ordering equipment.
- 1.2.7. Access doors shall be provided for all inaccessible mechanical equipment and services requiring inspection or maintenance. Finish shall suit Architect/Designers requirements. Access doors shall be recessed as required to suit wall/ceiling finish. Provide fire rated access doors and partitions.
- 1.2.8. Architect/Designer approval of air terminal, thermostat, and access door locations must be obtained prior to installation.
- 1.2.9. Written warranty shall be provided for the complete mechanical installation for one (1) year from the date of substantial completion.
- 1.2.10. As-built drawings shall be completed utilizing AutoCAD. Record accurately, installed work indicating exact locations, inverts and elevations, and sizes, dimensioned from column/grid lines, on white prints and transfer to AutoCAD. Submit both copies upon completion. Keep one set on site for consultant review. As-built drawings are to solely note "Issued for As-Built's" complete with contractor's title block. All consultant information is to be removed from as-built drawings.
- 1.2.11. Operation and maintenance manuals containing reviewed shop drawings, balancing reports, startup reports, and manufacturer's operation and maintenance manuals shall be submitted for consultant review. Manuals shall be submitted electronically for consultant review. Make all corrections requested by consultant and resubmit for review. Allow for printing of physical copy upon Owner's/CITY's request.
- 1.2.12. Change notice quotations shall be submitted complete with cost breakdown of labour and materials. Mechanical changes notices shall be priced in accordance with Mechanical Contractor Association (MCA) labour units. For material cost, use Alptisr less 20%.
- 1.2.13. Temporary filters 25mm (1") shall be provided at all base building return air openings. Filters to be replaced weekly and removed upon construction completion.
- 1.2.14. During construction, each contractor shall keep their work tidy. The premises shall be free of garbage and surplus materials. Clean daily.
- 1.2.15. Contractors are responsible for all damage to property or adjacent property as a result of work under these contract documents.
- 1.2.16. Contractors are responsible for maintaining safe practices and conditions in accordance with Occupational Health and Safety, security regulations, and fire safety regulations.
- 1.2.17. Plug all duct open ends, pipe open ends, and drains to prevent the entrance of foreign materials. Additional cleaning/flushing will be completed at no additional cost to the Owner.
- 1.2.18. Mechanical contractor shall take responsibility of coordinating installation of all mechanical systems with other trades. Produce a fully coordinated set of drawings showing all architectural, structural, electrical, fire protection, and mechanical services as a shop drawing for Consultant's review. Do not proceed to fabricate and install mechanical systems until shop drawings have been reviewed.
- 1.2.18.1. The mechanical contractor shall hold weekly coordination meetings with all trades to ensure coordination drawings are being followed and updated as required.
- 1.3. Supplementary Definitions
- 1.3.1. Supply - Furnish to site in location required or directed, complete with all accessories and ancillary equipment.
- 1.3.2. Install - Secured in place and all services connected up for operation as noted or directed.
- 1.3.3. Provide - To supply and install as described above.
- 1.3.4. Delete or Remove - Disconnect, make safe, and properly dispose off site all obsolete materials and ancillary devices noted on drawings and plans. Patch and repair all finished surfaces to match adjoining finishes in like kind and quality.
- 1.3.5. Exposed - Within the line of sight of any person standing or sitting in the occupied space.
- 1.3.6. Concealed - not exposed, hidden from normal sight in furred spaces, shafts, ceiling spaces, walls, floors, and partitions.
- 1.3.7. Listed - Materials or equipment that are tested in accordance with applicable standards and are approved and listed for their intended use by a testing company approved by the Authorities Having Jurisdiction.
- 1.4. Materials and Alternatives
- 1.4.1. Use only new materials, unless otherwise noted.
- 1.4.2. Materials and equipment shall meet or exceed base building standards and shall have Owner's/Tenant's approval prior to ordering.
- 1.4.3. Tender price to be per contract documents. Alternative equipment and associated cost savings to be indicated separately in tender submission.
- 1.5. Identification
- 1.5.1. Provide lamacoid name plates for all mechanical equipment. Text to be 10mm (3/8") high white lettering on black background. Identify equipment designation, voltage, phasing, unit #, and service.
- 1.5.2. Identify all valves with tags. Framed list of tagged valves to be provided to Owner/Tenant indicating valve location and use.
- 1.5.3. Provide labels for all mechanical systems associated with these contract documents. Identify fluid flow direction and system type. Labels to be visible behind each access door. Identify exposed mechanical services along line of site and as the service enters and exits a space. Allow for additional labeling at Consultant's request.
- 1.5.4. Identify capped future provisions.
- 1.6. Inspection
- 1.6.1. Arrange for required inspections with the Authorities Having Jurisdiction. All changes and alterations required as a result of these inspections are to be carried out promptly and without charge.
- 1.6.2. Mechanical consultant inspection(s) are required for the completion of this contract and the closing of permits obtained for this project.
- 1.6.3. Prior to complete installation of wall and ceiling finishes, or concealment of any buried services, contact T. Smith Engineering (inspections@tsmithengineering.com) to confirm and coordinate inspections. When ceilings or walls have been installed, it may be necessary for the contractor to remove portions to allow for inspection.
- 1.7. Structural Consultant Review
- 1.7.1. Mechanical equipment weights and opening requirements to be reviewed by a structural engineer.
- 1.7.2. Penetrations through structural slabs and members to be reviewed by Structural Engineer and base building consultant(s) prior to proceeding with work.
- 1.7.3. Structural Engineer review to be included as part of this contract.
- 1.8. Inserts and Sleeves
- 1.8.1. Provide sleeves for piping passing through walls, floors, and ceilings as detailed and as required per firestop listing requirements.
- 1.8.2. Sleeves are to be schedule 40 black steel and packed tight for water/air seal, sound transmission, fire proofing, and smoke proofing per applicable details and listings.
- 1.8.3. Provide Link-Seals in all pipe sleeves exposed to unexcavated areas to ensure a complete watertight seal.
- 1.9. Hangers and Supports
- 1.9.1. Provide hangers and supports per industry best practices and standards.
- 1.9.2. Support from building structure. Supporting from equipment, piping, and ductwork will not be accepted.
- 1.9.3. Provide oversized hangers to maintain vapour barriers as outlined in insulation specification. Coordinate with insulation contractor to ensure hangers and supports do not penetrate vapour barriers.

2. Plumbing and Drainage

2.1. General

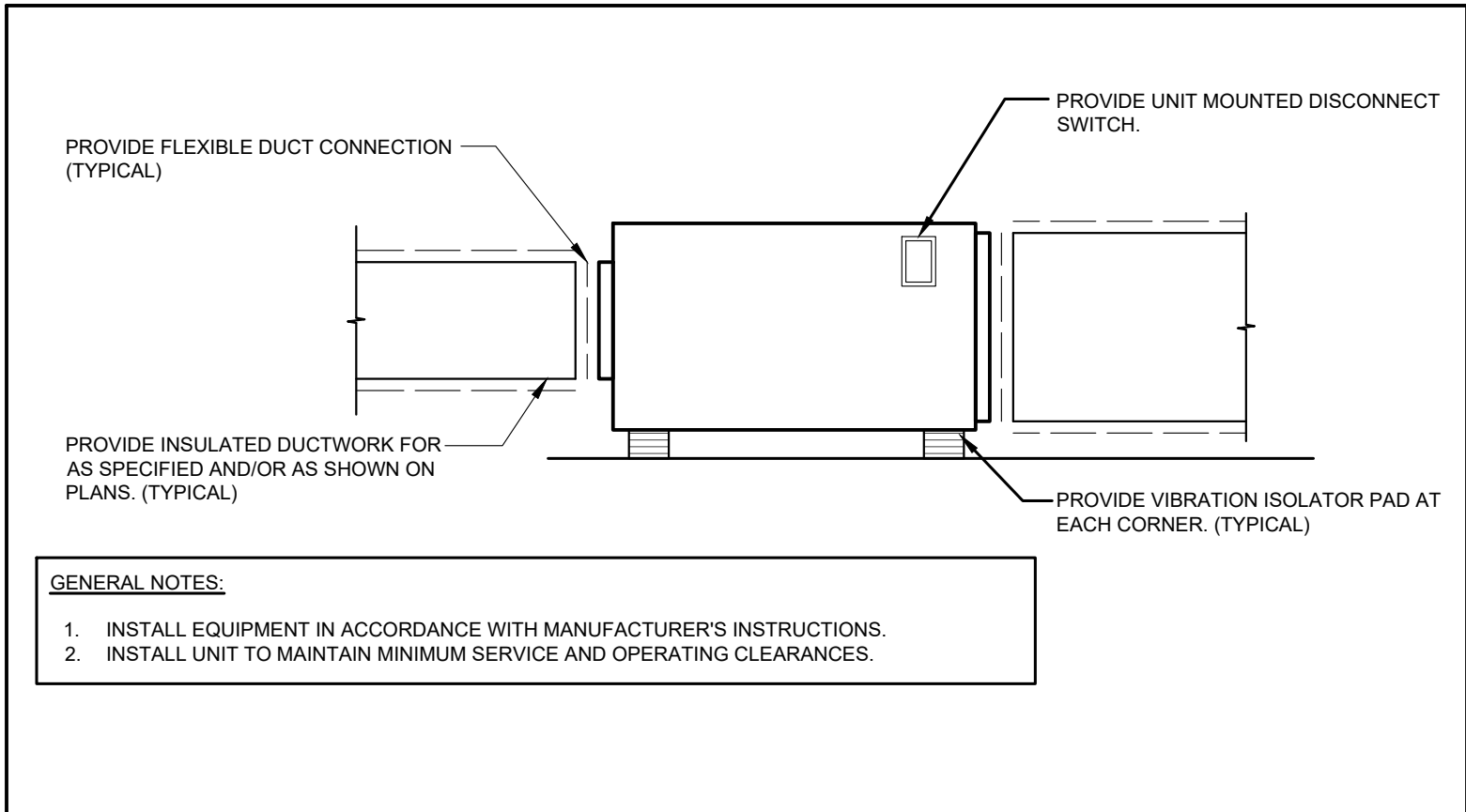
- 2.1.1. Provide all domestic water systems and connections to plumbing fixtures and equipment requiring water connections.
- 2.1.2. Provide all drainage and vent systems inside the building and up to 1.5m (5ft) past the foundation walls. Venting to conform with applicable codes and the Authorities Having Jurisdiction.
- 2.1.3. Provide all trenching and backfilling required to achieve the indicated plumbing work.
- 2.1.4. Existing sanitary and storm drain locations and invert elevations shall be verified on site prior to commencement of work.
- 2.1.5. Flush and scope existing sanitary and storm drains and perform a full inspection of the existing sanitary system prior to commencement of work.
- 2.1.6. Provide electronic trap priming devices and prime all traps per code requirements.
- 2.1.6.1. Electronic trap priming devices shall be an engineered, pre-fabricated, and factory tested assembly, equal to PPP Inc.
- 2.1.7. Provide all plumbing fixtures including all required trim and supports.
- 2.1.8. Provide shutoff valves, in accessible locations, on domestic water supplies to plumbing fixtures and equipment.
- 2.1.9. Verify all existing drainage locations and inverts on site prior to commencing work. Ensure drainage runs can meet site service inverts. Notify consultants when apparent difficulties and discrepancies are encountered. No additional costs will be paid after for rerouting drains because site inverts cannot be met.
- 2.1.10. Perform all tests required by the Authorities Having Jurisdiction and obtain certification upon completion. Repeat tests as required to obtain certification.
- 2.1.11. Ball test all drains.
- 2.1.12. Water test all drainage and vent systems to ensure there is no leakage.

- 2.1.13. Pressure test all piping systems per applicable code and the requirements of the Authority Having Jurisdiction. Submit report(s) to Owner/CITY and consultants. Include reports in final closeout package.
- 2.1.14. Test plumbing systems before covering.
- 2.1.15. Separate dissimilar metals per best industry practices.
- 2.1.16. Slope all domestic water piping to low points to ensure ease of drainage for maintenance. Provide drain valves at low points.
- 2.1.17. Provide water hammer arrestors on all piping serving fixtures or equipment with quick closing valves. Arrestors to be manufactured by Zurn or Watts with NSF compliant construction. Size and install arrestors per manufacturer's guidelines. Coordinate locations and access with general trade and architectural consultant.
- 2.1.18. Exposed piping and fittings in washrooms to be chrome plated. Provide chrome plated escutcheons on all piping passing through finished surfaces or millwork.
- 2.2. Cleaning, Flushing, and Disinfecting Plumbing Piping
- 2.2.1. Flush all drains until deposits of earth and foreign materials have been removed.
- 2.2.2. Flush all systems with clean potable water to remove scale and sediment upon filling.
- 2.2.3. Ensure operation of isolation and check valves such that disinfecting solution does not flow into adjacent systems.
- 2.2.4. Sanitize all domestic water piping per local municipal requirements.
- 2.2.5. Disinfect mains work accordance with AWWA Standard C651-88 upon completion of test and flushing. Repeat process until test results are satisfactory. Include final test report in closeout package.
- 2.2.6. Water quality tests by a recognized independent testing agency to be arranged and paid for under this project. Obtain certificates confirming safety of potable water supply and include reports in closeout package.
- 2.3. Materials
- 2.3.1. Above ground domestic water
- 2.3.1.1. Type "K" or "L" copper pipe with wrought copper fittings and 95/5 solder joints.
- 2.3.1.2. Grooved copper piping systems with working pressures up to 2100kPa (300psig) may be used in accessible areas. Use Victaulic couplings with Grade E gaskets.
- 2.4. Valves
- 2.4.1. Valves are to be manufactured by Kitz, Jenkins, Apollo
- 2.4.2. Valves 50mm (2") and smaller to have soldered connections.
- 2.4.3. Valves 65mm (2-1/2") and large to have flanged connections.
3. HVAC Equipment
- 3.1. Provide HVAC equipment and accessories as per equipment schedule.
- 3.2. Submit shop drawing for review prior to purchasing. Shop drawing shall include manufacturer's printed product literature and data sheets, performance data, and all listed options.
- 3.3. Deliver, store, and handle in accordance with manufacturer's requirements. Protect all products from damages, and replace all damaged products with new.
- 3.4. Install all equipment in accordance with manufacturer's written recommendations, instructions, all applicable codes, and best industry practices.
- 3.5. Provide equipment startup and commissioning by a factory trained technician. Submit startup and commissioning report for review.
4. Insulation
- 4.1. Provide all thermal insulation as indicated in drawings and as specified in the following.
- 4.2. Protect insulation work from being defaced or damaged by other trades. Make good any damages and leave in condition ready for paint.
- 4.3. Insulation to be protected in storage and during installation such that water is not absorbed by the insulation. Insulation found to have absorbed water is to be replaced immediately at no additional cost to the Owner/CITY.
- 4.4. Surfaces to be dry, clean, and free of rust prior to insulation installation.
- 4.5. All insulation sections to be firmly butted together.
- 4.6. Maintain ambient temperatures within manufacturer's specifications to ensure adhesives work as intended.
- 4.7. Insulation to be manufactured in a registered ISO 9000 facility.
- 4.8. All insulation pertaining to the work identified in these contract documents is to be carried by a single firm. Similar products from multiple manufacturers are not to be mixed.
- 4.9. Insulation to be manufactured by Owens Corning, Johns Manville, Manson Insulation, and Knauf Insulation.
- 4.10. Provide non-combustible insulation materials meeting or exceeding a flame spread/smoke development rating of 25/50 meeting CAN/ULC S-102 requirements.
- 4.11. Provide a completed insulation vapour barrier as specified below and on all exterior mechanical services.
- 4.12. Provide high density insulation insert and support shield for all piping larger than 32mm (1-1/4") specified with vapour barrier such that insulation is not crushed and vapour barrier is not penetrated.
- 4.13. Provide flexible unicellular tubular elastomer insulation with vapour retarder jacket to CGSB 51-GP-52Ma for refrigerant piping. Certified by the manufacturer to be free of potential stress corrosion cracking conditions.
- 4.14. Provide high density insulation insert and sheet metal support shield for all exterior ductwork.
- 4.15. Provide PVC sanitary protective covering kit on p-traps and water supplies on all barrier free lavatories.
- 4.16. Insulation over 65mm (1-1/2") thickness in two layers with staggered joints.
- 4.17. Insulation to have a minimal thermal conductivity of 0.24BTU in/(hr. sq.ft) at 100F mean temperature.
- 4.18. Insulate fittings with fabricated mitered or pre-formed sections.
- 4.19. Insulate flanges and mechanical couplings with specified insulation thickness. Infill transition with insulation of similar material and performance. Transitions to be made such that the specified insulation thickness is maintained throughout. Insulate valves and inline components with flexible insulation. Insulation density to be 34 lbs/cu.ft. Insulation must not be compressed more than 50% of the original thickness.
- 4.21. Terminal automatic control valves are not to be insulated when installed in hot piping systems. Terminal unit automatic control valves installed in cold piping systems are not to be insulated when located over condensate drip pans.
- 4.22. Piping Insulation
- 4.22.1. Owens Corning 850 Pipe Insulation, Johns Manville Micro-Lok AP-T Plus Pipe Insulation, Manson Pipe Insulation, and Knauf Pipe Insulation.
- 4.22.2. Domestic Cold Water
- 4.22.2.1. 15mm (1/2") thick
- 4.22.2.2. Vapour barrier
5. Electrical and Control
- 5.1. The mechanical contractor shall provide all necessary hard wiring between controlling devices and associated equipment.
- 5.2. Low Voltage - Provide transformer and low voltage wiring from transformer to equipment and controlling devices.
- 5.3. Line Voltage - Where control devices are operating line voltage, the mechanical contractor shall provide all wiring between equipment and controlling devices. Mechanical contractor shall retain a licensed electrician to perform all installation to ESA and all applicable codes and standards.
- 5.4. Wiring
- 5.4.1. All copper conductors with chemically cross-linked thermosetting polyethylene insulation rated RW90 and 600V.
- 5.4.2. Wire gauge shall match or exceed breaker size. Provide wire gauge in accordance with the Electrical Safety Code (ESC), the Ontario Electrical Safety Code (OESCO), and the Canadian Electrical Code (CEC).
- 5.4.3. Field wiring to digital devices shall be #18 AWG or 20 AWG stranded twisted pair.
- 5.4.4. Analogue input and output wiring shall be #18 minimum solid copper or #20 minimum stranded twisted pair. Wiring must be continuous without joints.
- 5.5. Conducts:
- 5.5.1. In wall - All electrical and control wiring shall be installed in electrical metallic tubing to CAN/CSA C22.2 No. 83.
- 5.5.2. Exposed Outdoor - Flexible and Liquid Tight Conduit to CAN/CSA C22.2 No. 56.
- 5.6. Starters, Control Devices
- 5.6.1. Across-the-line magnetic starter shall be in CSA Type 1 enclosures unless otherwise specified. Size, type, and rating to suit motors.
- 5.6.2. Starter Diagrams: Provide copy of wiring and schematic diagrams - mount one copy in each starter with additional copies for open and maintenance manual.
- 5.6.3. Auxiliary Control Devices:
- 5.6.3.1. Control transformers: 60 HZ, primary voltage to suit supply, secondary voltage to suit equipment and controls requirements. VA rating to suit load plus 20% margin.
- 5.6.3.2. Auxiliary Contacts: One "Normally Open" and one "Normally Closed" spare auxiliary contacts in addition to maintained auxiliary contacts as indicated.
- 5.6.3.3. Hand-Off-Automatic Switch: Heavy duty type, knob lever operator.
- 5.6.3.4. Double voltage relays: with barrier to separate relay contacts from operating magnet. Operating coil voltage and contact rating as indicated.
6. Testing and Air Balancing
- 6.1. Perform equipment startup and testing on all mechanical HVAC equipment. Submit startup report to the engineer for review and approval.
- 6.2. Mechanical contractor shall retain the services of a balancing contractor for air and water systems.
- 6.3. Air and water balancing shall be conducted and recorded in accordance with ANSI, AABC, and NEBB standards, latest edition.
- 6.4. Balancing Contractor shall be a member in good standing of AABC or NEBB.
- 6.5. Balancing Contractor shall be Owner's/CITY's approved contractor and paid for under this contract at the Owner's/CITY's request.
- 6.6. Submit balancing report to the consultants and owner free of contractor/construction deficiencies.
- 6.7. Balancing report to indicate terminal design and measured flow rates. Systems to be balanced to +/-5% of design values.
- 6.8. Provide two (2) additional days of balancing work for comfort balancing within one year of occupancy.
- 6.9. Provide new sheaves, belts, and all labour required to balance all air handling equipment to specified values. For existing equipment, coordinate adjustments and replacements of sheaves, belts, and pulleys with Owner/CITY.
- 6.10. Coordinate balancing activities with construction schedule. Coordinate with general trades to provide access to balancing dampers prior to or after ceiling/wall closure.
7. Closeout of Project
- 7.1. Remove waste and surplus materials, rubbish, and construction facilities from the site.
- 7.2. Prepare operation and maintenance manual in soft and hard copy format.
- 7.3. Two weeks prior to substantial performance of work, submit the operation and maintenance manual to the engineer for review.
- 7.4. Organize data as instructional manual.
- 7.5. Soft copy of the operation and maintenance manual shall be submitted on a USB key in PDF format.
- 7.6. Binders: vinyl, hard covered, 3 'D' ring, with spine and face pockets.
- 7.7. When multiple binders are used correlate data into related consistent groupings. Identify contents of each binder on spine.
- 7.8. Cover: identify each binder with type or printed project title; list title of project and identify subject matter of contents.
- 7.9. Arrange content by systems under Section numbers and sequence of Table of Contents.
- 7.10. Provide tabbed fly leaf for each separate product and system, with typed description of product and major component parts of equipment.
- 7.11. Text: manufacturer's printed data, or typewritten data.
- 7.12. Drawings: provide with reinforced punched binder tab. Bind in with text, fold larger drawings to size of text pages.
- 7.13. Provide as-built drawings in CAO and PDF formats, scale to match engineering drawings. Provide three full size hard copy prints in binder, and one soft copy on USB key.
- 7.14. Contents
- 7.14.1. Contractor Contact Information.
- 7.14.2. Manufacturer and supplier's contact information.
- 7.14.3. Warranty Detail and Information
- 7.14.4. Product Data - Approved Shop Drawings
- 7.14.5. Operation and Maintenance Manuals of all equipment installed.
- 7.14.6. Valve chart and flow diagrams.
- 7.14.7. As-Built drawings

DRAWING LIST

SHEET #	DESCRIPTION	SCALE	ISSUED
M001	MECHANICAL DETAIL, LEGEND, DRAWING LIST, AND SPECIFICATIONS	N.T.S.	Y
M100	MECHANICAL	AS SHOWN	Y

LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	SANITARY DRAIN		BURIED SANITARY DRAIN
	DRAIN WITH CLEANOUT		DRAIN WITH CLEANOUT UP TO FLOOR
	DRAIN WITH CLEANOUT UP TO FLOOR		RUNNING TAP WITH CLEANOUT
	DOMESTIC COLD WATER		DOMESTIC HOT WATER
	HOSE BIBB		NON-FREEZE WALL HYDRANT
	FLOOR DRAIN (## = DRAIN SIZE)		GATE VALVE
	BALL VALVE		VALVE IN RISER
	CAPPED PIPE		CONTINUOUS PIPE
	PIPE DOWN		PIPE UP
		CTE	CONNECT TO EXISTING
		SA	SUPPLY AIR
		SE	SANITARY EXHAUST
		VA	VENTILATION AIR
		EA	EXHAUST AIR



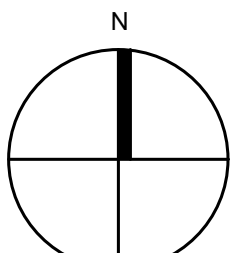
BASE-MOUNTED FAN UNIT DETAIL

SCALE: N.T.S.

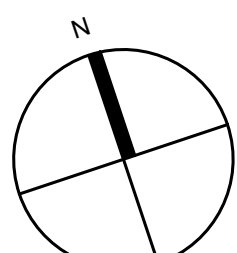
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REVISIONS/SUBMISSIONS

No.	DATE	DESCRIPTION
1	2025-09-25	ISSUED FOR COORDINATION
2	2025-10-09	ISSUED FOR TENDER AND PERMIT



PROJECT NORTH



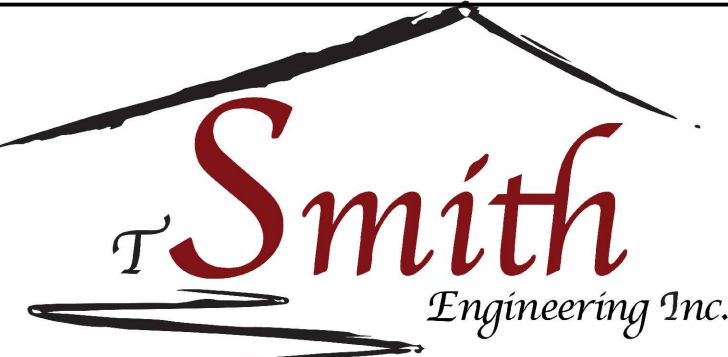
TRUE NORTH

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Project Title



JACK DARLING EAST  
WASHROOM  
RENOVATION

1180 LAKESHORE RD. W. MISSISSAUGA, ON. L5H 3G7

Sheet Title

MECHANICAL DETAIL  
LEGEND, DRAWING LIST  
AND SPECIFICATIONS

Project Number 24-07005

Date January 9, 2025

Drawn AS

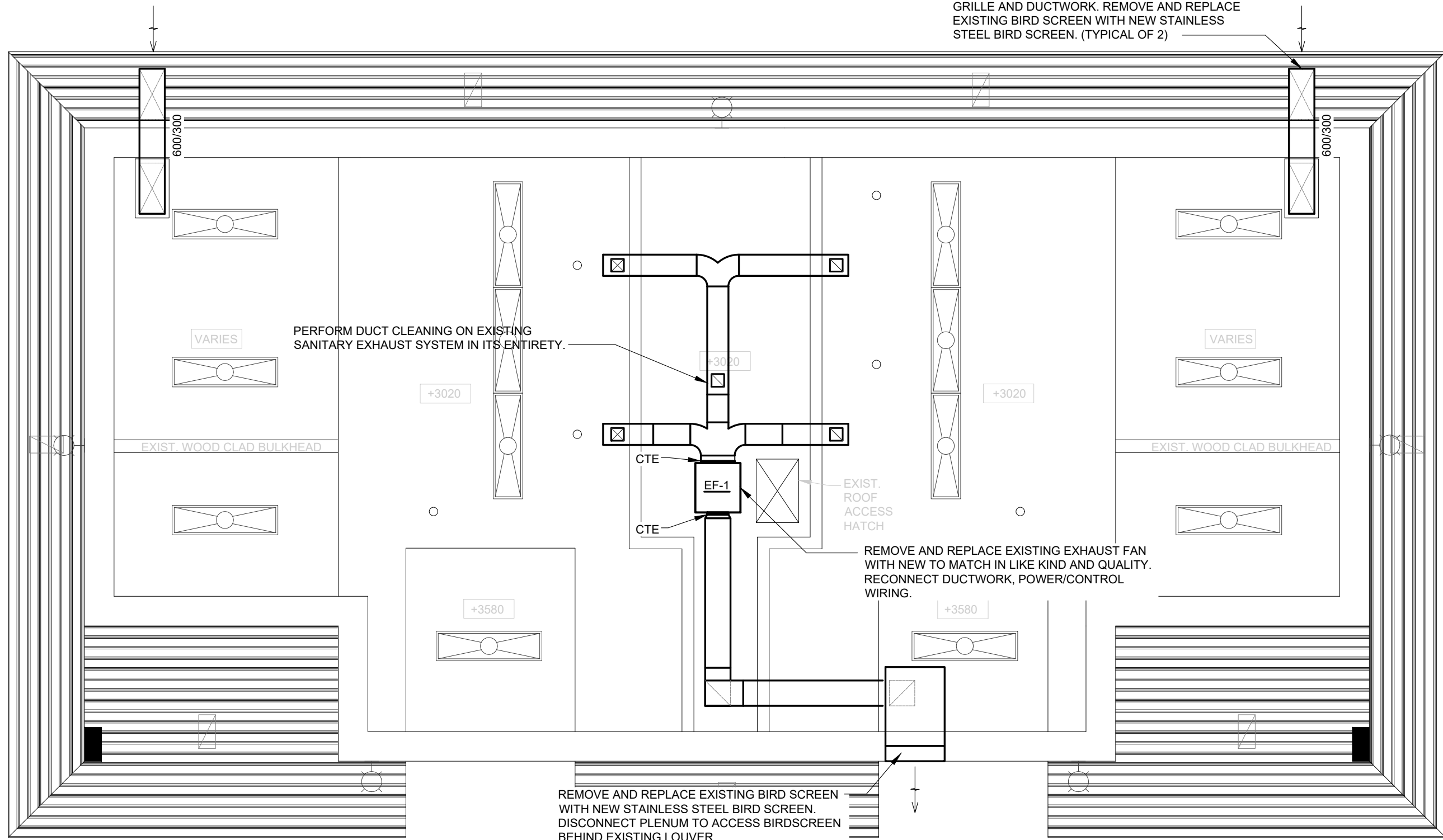
Checked AS

Scale AS SHOWN

Drawing Number

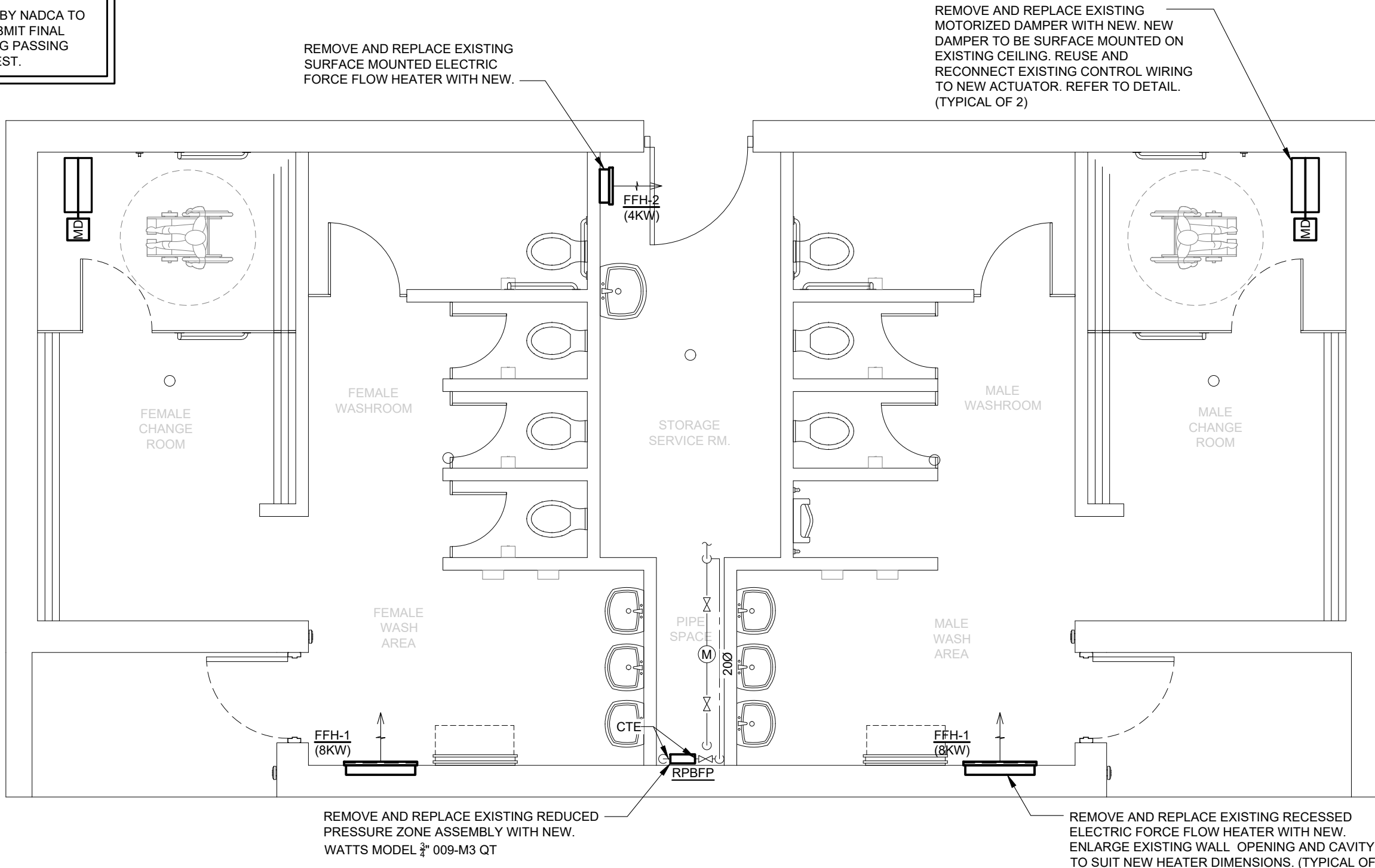
M001





1 ATTIC PLAN - MECHANICAL  
M100 1:50

**DUCT CLEANING**  
THE COMPLETE SANITARY AND FRESH AIR DUCT SYSTEM SHALL BE CLEANED IN ACCORDANCE WITH NADCA STANDARDS.  
RETAIN CONTRACTOR CERTIFIED BY NADCA TO PERFORM ALL CLEANING AND SUBMIT FINAL VERIFICATION REPORT INDICATING PASSING CRITERIA FOR NADCA VACUUM TEST.

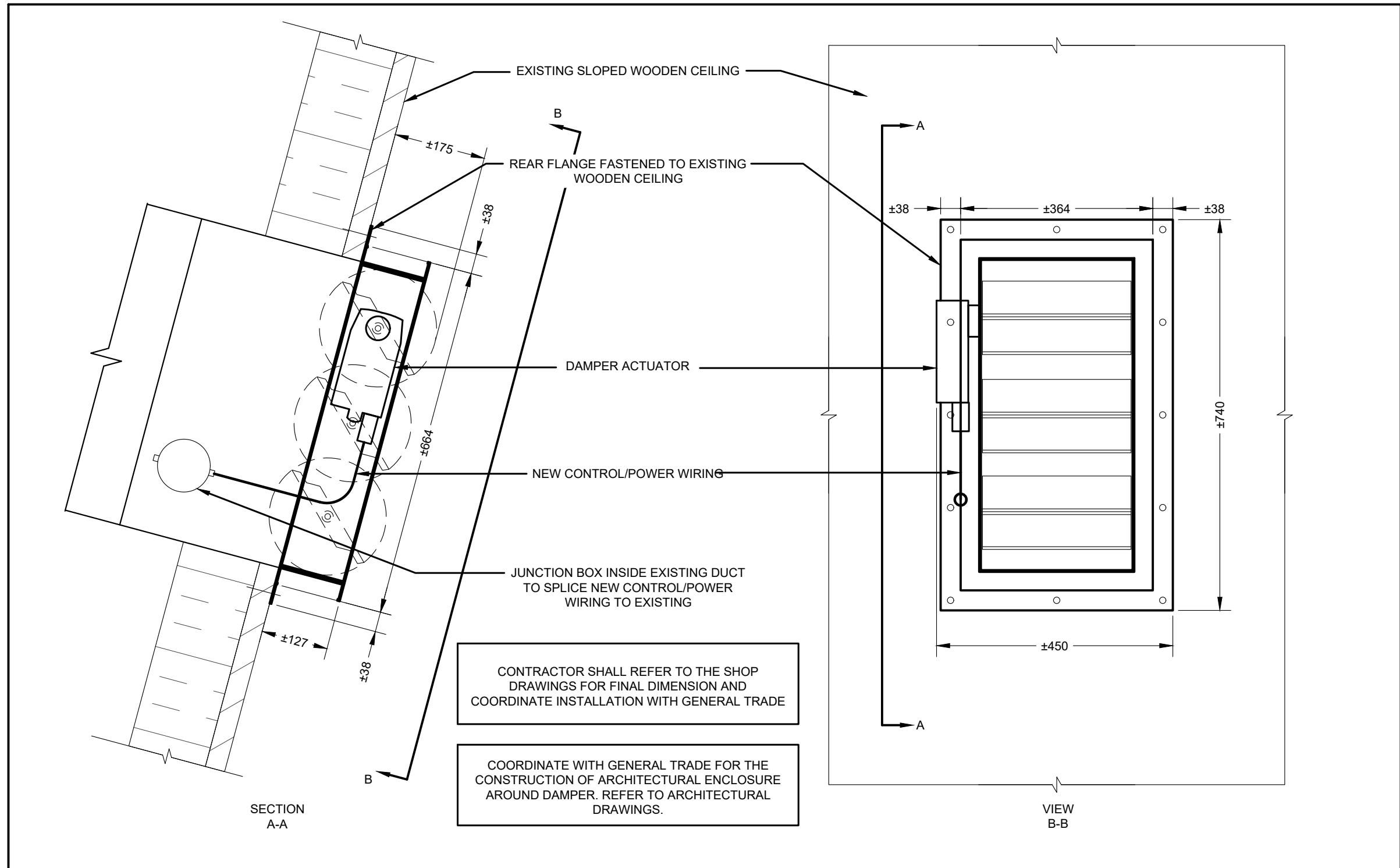


2 GROUND FLOOR PLAN - MECHANICAL  
M100 1:50

MOTORIZED DAMPER							
TAG	TYPE	DAMPER MANUFACTURER	MODEL	SIZE (MM)	ACTUATOR MANUFACTURER	MODEL	POWER
MD	MOTORIZED INTAKE DAMPER	NAILOR	2200TB-PB-FF	600 X 300	BELIMO	AFBUP	AC 24...240 V DC 24...125 V
STEEL FRAME DAMPER WITH ALUMINIUM INSULATED BLADE. PARALLEL BLADES, 1-1/2" FRONT FLANGE, PROVIDE OPERATOR MOUNTING FURNISHED BY MANUFACTURER.							

HEATERS - ELECTRIC															
TAG	LOCATION	MANUFACTURER	MODEL	HEATING CAPACITY		FAN		ELECTRICAL			MOUNTING ARRANGEMENT	COLOUR	WEIGHT		COMMENTS
				KW	MBH	Y/N	CFM	VOLTAGE	PHASE	HZ			LBS	KG	
FFH-1	WASHROOMS	OUELLET	OAWH08008-TAV	8	27	Y	320	208	1	60	RECESSED	WHITE	50	22.7	NOTES 1 AND 2
FFH-2	STORAGE/SERVICE RM	OUELLET	OAWH04008-TAV	4	14	Y	160	208	1	60	SURACE	WHITE	25	11.4	NOTES 1, 2, AND 3
NOTE:															
1. PROVIDE DISCONNECT AND STARTER FOR ALL EQUIPMENT					2. PROVIDE BUILT-IN TAMPERPROOF THERMOSTAT CONTROL					3. PROVIDE SURFACE MOUNTING BOX.					

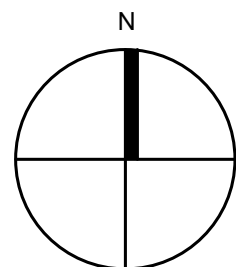
EXHAUST FANS																
TAG	SERVICE	LOCATION	MANUFACTURER	MODEL	TYPE	FAN		MOTOR		ELECTRICAL				DIMENSIONS		
						AIRFLOW (CFM)	E.S.P.	HP	TYPE	VOLTAGE	PHASE	HZ	MCCP	UNIT	L (MM)	W (MM)
EF-1	SANITARY	ATTIC	DELHI	209INS	CENTRIFUGAL	1,000	0.5	1/4	2-SPEED ODP	115	1	60	15		584	533
NOTE: 1. PROVIDE DISCONNECT AND STARTER FOR ALL EQUIPMENT 2. PROVIDE NEW FAN TO MATCH EXISTING. REVIEW EXISTING PRIOR TO ORDERING. 3. PROVIDE CSA APPROVED MOTOR. 4. PROVIDE UL/cUL 705 LISTED POWER VENTILATOR 5. PROVIDE TWO SPEED MOTOR AT 50%/100% AIRFLOW 6. PROVIDE VIBRATION ISOLATION PAD - BASE MOUNTED																



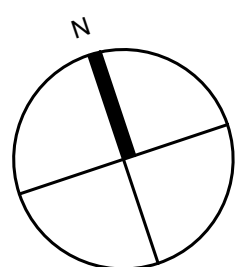
DAMPER DETAIL  
SCALE: N.T.S.

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REVISIONS/SUBMISSIONS		
No.	DATE	DESCRIPTION
1	2025-09-25	ISSUED FOR COORDINATION
2	2025-10-09	ISSUED FOR TENDER AND PERMIT



PROJECT NORTH



TRUE NORTH

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Project Title  
**JACK DARLING EAST WASHROOM RENOVATION**  
1180 LAKESHORE RD. W. MISSISSAUGA, ON. L5H 3G7





Sheet Title  
**MECHANICAL**

Project Number 24-07005  
Date January 9, 2025  
Drawn AS  
Checked AS  
Scale AS SHOWN  
Drawing Number




M100



## ELECTRICAL LEGEND

- ☐  EMERGENCY LIGHT
- ☐  BATTERY UNIT C/W DOUBLE LIGHT HEADS
- ☐ \$ SINGLE POLE SWITCH 15A, 125V
- ☐ (OS) (HOS) CEILING MOUNTED ADAPTIVE TECHNOLOGY OCCUPANCY SENSORS SHALL BE HUBBELL DUAL TECHNOLOGY H-MOSS OCCUPANCY SENSORS ATD SUITABLE FOR 120V OR 347V AS REQUIRED. SENSOR SHALL BE C/W POWER PACK AND ALL NECESSARY WIRING ACCESSORIES AND SUITABLE FOR 500, 1000 OR 2000 SQ. FT. AS REQUIRED. PROVIDE INDIVIDUAL TIME AND SENSOR ADJUSTMENT TO CLIENT'S REQUIREMENTS.
- ☐ \$OS MOTION SENSOR LIGHT SWITCH SHALL BE HUBBELL H-MOSS OCCUPANCY SENSORS AD1277W1 SUITABLE FOR 120V. SENSOR SHALL BE MANUAL "ON" WITH AUTO-OFF FUNCTION AND C/W FIELD ADJUSTABLE VIEWING ANGLE AND ADAPTIVE TECHNOLOGY. PROVIDE INDIVIDUAL TIME AND SENSOR ADJUSTMENT TO CLIENT'S REQUIREMENTS. OR APPROVED EQUAL
- ☐  PHOTOCELL
- ☐  TIMER
- ☐ (C) CONTACTOR

# COMMUNICATIONS SYSTEM
















- ☐  WALL MOUNTED TELEPHONE OUTLET C/W 21mmC
- ☐  WALL MOUNTED DATA OUTLET C/W 21mmC
- ☐  WALL MOUNTED TELEPHONE AND DATA OUTLET C/W 27mmC

## ABBREVIATIONS









- |      |  |
|------|--|
| RT   | RAIN TIGHT   |
| AFF  | ABOVE FINISHED FLOOR                                       |
| E    | EXISTING ELECTRICAL DEVICE TO REMAIN                       |
| R    | EXISTING ELECTRICAL DEVICE TO BE REMOVED                   |
| R/R  | EXISTING ELECTRICAL DEVICE TO BE REMOVED AND RE-INSTALLED. |
| R/E  | EXISTING ELECTRICAL DEVICE TO BE RELOCATED                 |
| E/R  | EXISTING ELECTRICAL DEVICE IN RELOCATED LOCATION           |
| AD   | AUTO DOOR  |
| AF   | AUTO FLUSH   |
| WP   | WEATHERPROOF   |
| GFCI | GROUND FAULT INTERRUPTER CIRCUIT                           |
| MD   | MOTORIZED DAMPER   |

## ELECTRICAL LEGEND

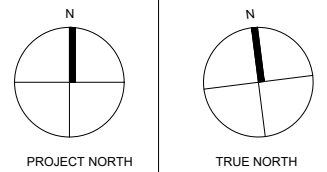
## POWER SYSTEM

-  WALL MOUNTED DUPLEX RECEPTACLE 15A, 125V
-  WALL MOUNTED QUAD RECEPTACLE 15A, 125V
-  120V, 20A GFCI DUPLEX RECEPTACLE MOUNTED IN A  
WP/GFCI WEATHERPROOF BOX FOR ROOF TOP UNITS. INTERMATIC CAT#  
WP1000C
-  DIRECTION POWER CONNECTION
-  DIRECTION POWER CONNECTION C/W DISCONNECT SWITCH
-  HAND DRYER, SUPPLIED AND INSTALLED BY THIS ELECTRICAL  
CONTRACTOR  
DYSON AIRBLADE V  
HU02-NICKLE
-  JUNCTION BOX
-  PULL BOX
-  UNFUSED DISCONNECT SWITCH
-  FUSED DISCONNECT SWITCH
-  ELECTRICAL PANEL, RECESSED OR SURFACE MOUNTED
-  TRANSFORMER
-  DOOR RELEASE PUSH BUTTON
-  ELECTRIC HEATER SUPPLIED BY MECHANICAL CONTRACTOR,  
INSTALLED AND WIRED BY THIS ELECTRICAL CONTRACTOR, REFER  
TO MECHANICAL DRAWINGS FOR SPECIFICATIONS.
-  HYDRO METER TO SUIT LOCAL HYDRO'S REQUIREMENTS

## LIGHTING SYSTEM

- ☐  1'x4' LED LIGHTING FIXTURE, CEILING MOUNTED
- ☐  1'x4' LED LIGHTING FIXTURE AS NIGHT LIGHT, CEILING MOUNTED
- ☐  WALL MOUNTED LIGHTING FIXTURE
- ☐  WALL MOUNTED LIGHTING FIXTURE AS NIGHT LIGHT
- ☐  POT LIGHT CEILING MOUNTED
- ☐  NIGHT LIGHT POT LIGHT, CEILING MOUNTED
- ☐  CEILING MOUNTED EXIT SIGN, ARROW DENOTES DIRECTION
- ☐  WALL MOUNTED EXIT SIGN, ARROW DENOTES DIRECTION

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[illegible]

**JLK:ENGINEERING**  
Professional Engineering Design Services



Project Title
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## JACK DARLING EAST WASHROOM RENOVATION

1180 Lakeshore Rd. W. Mississauga, ON. L5H 3G7

Sheet Title
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## ELECTRICAL LEGEND

Project Number	25-142
Date	OCTOBER 2025
Drawn	N.Y.
Checked	F.R.B.
Scale	AS SHOWN
Drawing Number	

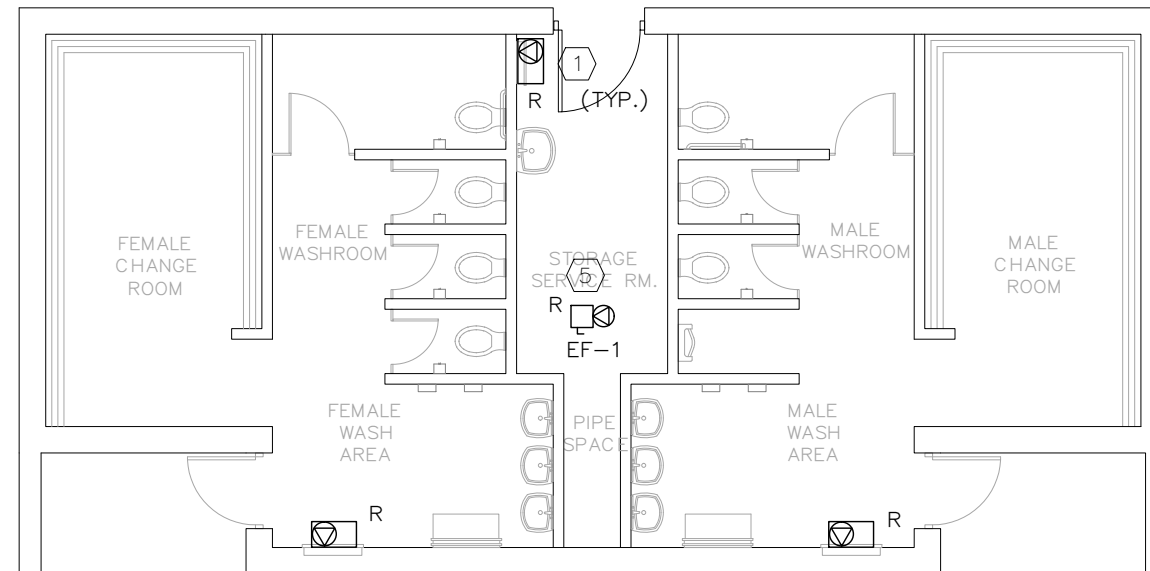
# E100





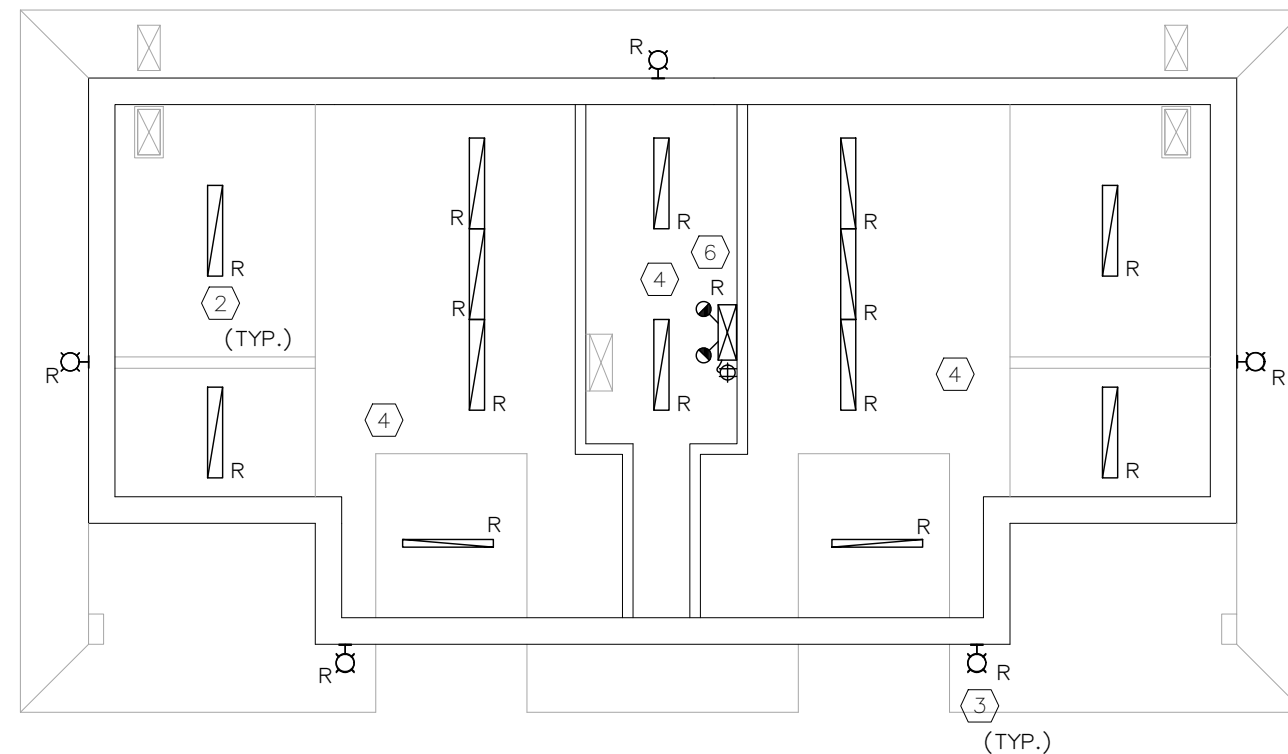


- 1 EXISTING POWER CONNECTION TO EXISTING ELECTRIC HEATERS SHALL BE REMOVED TO BE USED FOR NEW HEATERS, REFER TO NEW LAYOUT FOR DETAILS.
- 2 EXISTING INTERIOR LIGHTING SHALL BE REMOVED AND REPLACED WITH NEW, REFER TO NEW LAYOUT FOR DETAILS.
- 3 EXISTING EXTERIOR LIGHTING SHALL BE REMOVED AND REPLACED WITH NEW, REFER TO NEW LAYOUT FOR DETAILS.
- 4 ALL EXISTING EMERGENCY LIGHTING AND EXIT SIGNS C/W THEIR ASSOCIATED WIRING AND CONDUITS SHALL BE REMOVED.
- 5 EXISTING POWER CONNECTION TO EXISTING EXHAUST FAN SHALL BE REMOVED TO BE USED FOR NEW FAN, REFER TO NEW LAYOUT FOR DETAILS.
- 6 EXISTING EMERGENCY BATTERY UNIT SHALL BE REMOVED AND REPLACED WITH NEW, REFER TO NEW LAYOUT FOR DETAILS.

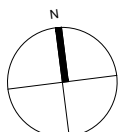


GENERAL NOTES:

1. CONTRACTOR TO DO A FULL INVESTIGATION OF THE SITE PRIOR TO PRICING THE DEMOLITION WORK.
2. ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING DURING DEMOLITION AND CONSTRUCTION PHASES AS REQUIRED.
3. ALL DEVICES TO BE DEMOLISHED MAY NOT BE IDENTIFIED ON THE DRAWINGS DUE TO INACCESSIBILITY DURING SITE REVIEW. CONTRACTOR SHALL CONFIRM SCOPE OF DEMOLITION WORK WITH ARCHITECT AND INCLUDE ALL COST IN THE TENDER SUBMISSION.



1 ELECTRICAL – DEMOLITION LAYOUTS  
E102 SCALE: 1:100

[illegible]

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Project Title
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1180 Lakeshore Rd. W. Mississauga, ON. L5H 3G7

Sheet Title

## Drawing Number

E102



- 1 PROVIDE NEW INTERIOR LIGHTING AND CONNECT TO EXISTING LIGHTING CIRCUIT FEEDING THE EXISTING INTERIOR LIGHTING VIA EXISTING OCCUPANCY SWITCHES, PROVIDE ALL REQUIRED WIRING AND CONDUITS TO SUIT.
- 2 EXISTING OCCUPANCY SWITCHES SHALL BE REMOVED AND RE-INSTALLED TO SUIT CONSTRUCTION SCOPE.
- 3 EXISTING ELECTRICAL DISTRIBUTION TO REMAIN AS IS.
- 4 CONNECT NEW EMERGENCY BATTERY UNIT TO EXISTING CIRCUIT FEEDING THE EXISTING BATTERY UNIT. PROVIDE ALL REQUIRED WIRING AND CONDUITS TO SUIT.
- 5 PROVIDE NEW EXTERIOR LIGHTING AND CONNECT TO EXISTING LIGHTING CIRCUIT FEEDING THE EXISTING EXTERIOR LIGHTING, PROVIDE ALL REQUIRED WIRING AND CONDUITS TO SUIT.
- 6 CONNECT NEW EF-1 TO EXISTING CIRCUIT FEEDING THE EXISTING EXHAUST FAN, PROVIDE ALL REQUIRED WIRING AND CONDUITS TO SUIT.
- 7 CONNECT NEW EXIT SIGNS TO EXISTING CIRCUIT FEEDING THE EXISTING EXIT SIGNS. PROVIDE ALL REQUIRED WIRING AND CONDUITS TO SUIT.
- 8 PROVIDE NEW LIGHTING INSIDE THE STORAGE AND CONNECT TO EXISTING LIGHTING CIRCUIT FEEDING THE EXISTING INTERIOR LIGHTING VIA THE NEW LOCAL LIGHT SWITCH AS INDICATED, PROVIDE ALL REQUIRED WIRING AND CONDUITS TO SUIT.
- 9 CONNECT NEW ELECTRIC HEATERS TO EXISTING CIRCUIT FEEDING THE EXISTING ELECTRIC HEATERS, PROVIDE ALL REQUIRED WIRING AND CONDUITS TO SUIT.
- 10 PROVIDE A NEW 120V POWER CONNECTION C/W A 15A,1P BREAKER FROM EXISTING 120/208V ELECTRICAL PANEL TO FEED NEW AUTO DOOR SYSTEMS, PROVIDE ALL REQUIRED WIRING AND CONDUITS TO SUIT.
- 11 PROVIDE A NEW 120V POWER CONNECTION C/W A 15A,1P BREAKER FROM EXISTING 120/208V ELECTRICAL PANEL TO FEED NEW MOTORIZED DAMPERS, PROVIDE ALL REQUIRED WIRING AND CONDUITS TO SUIT.



E103